

PROPERTY INSPECTION REPORT



Inspector: Patrick Weevie

SAMPLE

Report Introduction

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report if you have any questions. Remember, when the inspection is completed and the report is delivered, we are still available for any questions you may have.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current code. This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects. Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.

Video In Your Report -The inspector may have included videos of issues within the report. If you are opening the PDF version of the report make sure you are viewing the PDF in the free Adobe Reader PDF program. If you're viewing the report as a web page the videos will play in any browser. Click on any video within the report to start playing.

Throughout the report we utilize icons to make things easier to find and read. Use the legend below to understand each rating icon.



Acceptable - This item was inspected and is in acceptable condition for its age and use.



Repair/Replace - Items with this rating should be examined by a professional and be repaired or replaced.



Safety Issue - Items with this rating should be examined immediately and fixed. Even though the item is marked as a safety issue it could be a very inexpensive fix. Please make sure to read the narrative to completely understand the issue.



Monitor - Items with this rating should be monitored periodically to ensure that the issue hasn't become worse, warranting a repair or replacement.



Not Accessible/Partial Accessible - Items with this rating were not able to be fully inspected because access was blocked, limited, or covered. "Not Accessible" indicates the area could not be inspected at all. "Partially Accessible" indicates only portions of the area could be inspected due to restricted access.

Our report contains a unique pop-up glossary feature. When you see words **highlighted in yellow** hover your mouse over the term. The definition or a tip about the item will appear!

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Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Interior Areas		
Page 6 Item: 3	Smoke Detectors	The smoke detector located at the top of the upstairs landing was chirping at the time of inspection. A chirping sound typically indicates a low battery, expired battery, or an alarm nearing the end of its service life. Recommend replacing the battery and testing the unit, and replacing the entire alarm if chirping continues or if the unit is older than 10 years.
Bedrooms		
Page 7 Item: 3	Smoke Detectors	The smoke detector in Bedroom 2 had a broken test button and could not be operated during the inspection. Because the device could not be tested, its functionality is unknown. Recommend replacing the smoke detector to ensure proper fire safety protection.
Page 8 Item: 5	Window Condition	A single-hung window in the master bedroom was not secured at the window locks during inspection. When attempting to close and latch the window, it was noticeably difficult to operate. Improper window alignment, debris in the track, or worn hardware can prevent full closure and secure locking. Recommend evaluation and adjustment or repair by a qualified window or handyman professional to ensure proper operation and full locking capability.
Bathroom		
Page 11 Item: 7	Plumbing	A leak was observed at the sink's drain connection where the tailpiece and P-trap join. Water was present on the piping during operation. Active leaks can damage cabinetry and contribute to microbial growth if not repaired. Recommend correction by a qualified plumber and evaluation for moisture-related damage.
Garage		
Page 22 Item: 1	Walls	Gaps around plumbing and electrical penetrations into drywall recommend sealing gaps.
Page 23 Item: 9	Garage Door's Reverse Status	The garage door's automatic reverse safety feature could not be fully tested. The wall-mounted opener required the button to be held down continuously for the door to close, preventing normal testing of the auto-reverse function. This condition may indicate a problem with the opener settings, sensors, or safety controls. Recommend evaluation and correction by a qualified garage door technician to ensure the door's safety features operate properly.

Attic		
Page 28 Item: 4	Insulation Condition	• A loose board with multiple exposed nails was observed laying on the attic floor. This presents a safety hazard for anyone entering the attic, including the homeowner or service personnel. Recommend removal of the board or securing it in a safe location to prevent injury.
Exterior Areas		
Page 30 Item: 2	Window Condition	• The upper window in the second-floor bedroom exhibited visible discoloration or hazing between the glass panes. This condition is consistent with a possible failed thermal seal, which allows moisture to enter the insulated glass unit. When window seals are compromised, the window may become cloudy over time and lose some insulating efficiency. Recommend evaluation and repair or replacement by a qualified window contractor.
Page 30 Item: 3	Siding Condition	• From ground level and at a limited vantage point, the exterior siding and roof-to-wall flashing area beneath the upper window show signs of discoloration, deterioration, and possible moisture staining. The flashing configuration could not be fully evaluated from this distance, but the conditions observed may indicate improper or aging flashing and potential water intrusion. Recommend a closer evaluation by a qualified roofing or siding contractor and repairs as needed.



Inspection Details

1. Attendance

In Attendance: Buyer Agent present • No other parties present at inspection.

2. Home Type

Home Type: Condominium/Townhouse

3. Occupancy

Occupancy: Vacant - Furnished



Interior Areas

The Interior section covers areas of the house that are not considered part of the Bathrooms, Bedrooms, Kitchen or areas covered elsewhere in the report. Interior areas usually consist of hallways, foyer, and other open areas. Within these areas the inspector is performing a visual inspection and will report visible damage, wear and tear, and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas on the interior.

The inspector does not usually test for mold or other hazardous materials. A qualified expert should be consulted if you would like further testing.

1. Cabinets

Observations:

- No deficiencies observed.



2. Door Bell

Observations:

- The doorbell produced a sound at the exterior button but did not activate the interior chime. This indicates a functional issue with the doorbell system, such as a faulty chime unit, transformer, or wiring connection. Recommend further evaluation and repair by a qualified electrician or doorbell technician.



3. Smoke Detectors

Observations:

- The smoke detector located at the top of the upstairs landing was chirping at the time of inspection. A chirping sound typically indicates a low battery, expired battery, or an alarm nearing the end of its service life. Recommend replacing the battery and testing the unit, and replacing the entire alarm if chirping continues or if the unit is older than 10 years.



4. Ceiling Condition

Materials: There are drywall ceilings noted.



5. Wall Condition

Materials: Drywall walls noted.



6. Window Condition

Materials: Vinyl framed single hung window noted.





Bedrooms

Our inspection of the Bedroom area(s) in accordance with industry standards of practice includes the visually accessible areas of walls, floors, ceilings, cabinets and closets, and includes the testing of a representative number of windows, doors, switches and outlets. However, we do not evaluate window treatments, or move furniture, lift carpets or rugs, empty closets or cabinets. This report is to inform you of current condition as observed at time of inspection.

1. Doors

Observations:

- Loose door handle in bedroom 3.
- Closet door or closes on its own in bedroom number 3.



2. Floor Condition

Flooring Types: Carpet is noted.



3. Smoke Detectors

Observations:



- The smoke detector in Bedroom 2 had a broken test button and could not be operated during the inspection. Because the device could not be tested, its functionality is unknown. Recommend replacing the smoke detector to ensure proper fire safety protection.



4. Wall Condition

Materials: Drywall walls noted.



5. Window Condition

Materials: Vinyl framed single hung window noted.



Observations:

- Several window screens were torn or damaged. Damaged screens do not affect window operation but can allow insects to enter when windows are opened. Recommend repairing or replacing the affected screens as part of routine maintenance.
- A window screen was missing at Bedroom 1. Missing screens do not affect window operation but may reduce ventilation options and allow insects to enter when the window is open. Recommend replacing the screen.
- A single-hung window in the master bedroom was not secured at the window locks during inspection. When attempting to close and latch the window, it was noticeably difficult to operate. Improper window alignment, debris in the track, or worn hardware can prevent full closure and secure locking. Recommend evaluation and adjustment or repair by a qualified window or handyman professional to ensure proper operation and full locking capability.





6. Ceiling Condition

Materials: There are drywall ceilings noted.





Bathroom

Our inspection of the Bathroom area(s) in accordance with industry standards of practice includes a visual examination of the readily accessible areas of the walls, floor, ceiling, cabinets, countertops and plumbing fixtures. The plumbing system and their components are tested and observed using normal operating controls, which includes flushing toilet(s), testing functional flow and observance of any active leakage throughout fixture(s) and faucet(s). Exhaust vent fans and their ductwork are tested for their proper operation. Shower pans/Tubs are visually checked for possible leakage concerns, but leaks often do not show except when the shower/tub is in actual use. Determining whether shower pans, tub/shower surrounds are watertight is beyond the scope of this inspection. It is very important to maintain all grout, caulking and other sealants used in the bathroom areas. Very minor imperfections can allow water intrusion into the walls or floor areas and cause damage. We will not attempt to move furniture, lift carpets or rugs, empty closets or cabinets. This report is to inform you of current condition as observed at time of inspection.

1. Cabinets

Observations:

- No deficiencies observed at the time of the inspection..



2. Ceiling Condition

Materials: There are drywall ceilings noted.



3. Counters

Observations:

- No discrepancies observed at the time of the inspection.



4. Doors

Observations:

- No discrepancies observed at the time of the inspection.

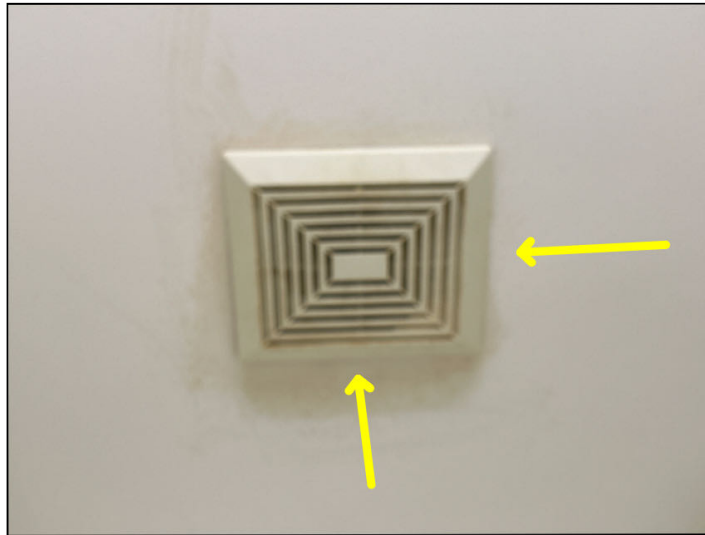


5. Exhaust Fan

Observations:

- The bathroom exhaust fan cover had noticeable dust and debris buildup. Accumulated debris can reduce airflow efficiency and increase noise during operation. Recommend removing the cover and cleaning the fan assembly as part of routine maintenance.





6. Mirrors



Observations:

- No discrepancies observed at the time of inspection.

7. Plumbing



Observations:

- A water function test was performed in the master bathroom. When multiple fixtures were operated simultaneously (tub and both sinks), a noticeable drop in water pressure and flow occurred. This may indicate restricted supply lines, mineral buildup, or an overall capacity limitation in the plumbing system. Recommend evaluation by a qualified plumber if pressure issues become a concern during regular household use.
- A leak was observed at the sink's drain connection where the tailpiece and P-trap join. Water was present on the piping during operation. Active leaks can damage cabinetry and contribute to microbial growth if not repaired. Recommend correction by a qualified plumber and evaluation for moisture-related damage.



8. Showers



Observations:

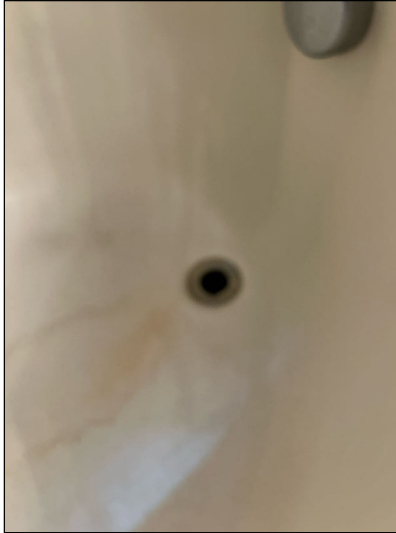
- No discrepancies observed at the time of the inspection.

9. Bath Tubs



Observations:

- The master bathroom tub is missing its drain stopper. Without a functioning stopper, the tub cannot be filled for soaking or certain testing procedures. Recommend installing an appropriate stopper assembly for proper operation.



10. Sinks



Observations:

- No discrepancies noted at the time of the inspection.

11. Toilets



Observations:

- Observed as functional and in good visual condition.



Kitchen

Our inspection of the Kitchen area(s) in accordance with industry standards of practice includes the visually accessible areas of walls, floors, ceilings, cabinets and closets, and includes the testing of a representative number of windows and interior doors, switches and outlets, also the plumbing system and their components are tested and observed, which includes testing functional flow and leaks throughout fixture(s) and faucet(s). Inspect drain, waste and vent system and report on deficiencies. We will not attempt to move furniture, lift carpets or rugs, empty closets or cabinets. This report is to inform you of current condition as observed at time of inspection.

1. Dishwasher

Observations:



- The dishwasher was operated through a basic cycle and functioned as intended. No discrepancies were observed.

2. Garbage Disposal

Observations:



- The garbage disposal operated normally when tested. No discrepancies were observed.

3. Microwave

Observations:



- The microwave operated using normal controls and heated a test item. No discrepancies were observed.

4. Cook top condition

Observations:



- Electric cook top noted.
- All heating elements operated when tested.

5. Oven & Range

Observations:



- The oven and cooktop responded to normal operating controls and were functional at the time of inspection. No discrepancies were observed.

6. Plumbing

Observations:



- The visible and accessible plumbing drains functioned properly at the time of inspection. No drainage issues were observed.
- No leaks were observed at the visible and accessible plumbing under the sinks during the inspection.

7. Ceiling Condition

Materials: There are drywall ceilings noted.



8. Electrical

Observations:



- No major system safety or function concerns noted at time of inspection.

9. Wall Condition

Materials: Drywall walls noted.





Laundry

Our inspection of the Laundry room area(s) in accordance with industry standards of practice includes a visual examination of the readily accessible areas of the walls, floor, ceiling, cabinets, countertops and plumbing fixtures. The plumbing system and their components are tested and observed using normal operating controls, which includes testing functional flow and observance of any active leakage throughout fixture(s) and faucet(s). Exhaust vent fans and their ductwork are tested for their proper operation. Inspect drain, waste and vent system and report on deficiencies. Very minor imperfections can allow water intrusion into the walls or floor areas and cause damage. We will not attempt to move furniture, lift carpets or rugs, empty closets or cabinets. This report is to inform you of current condition as observed at time of inspection.

1. Dryer Vent

Observations:

- A photo of the dryer vent connection is provided for reference only. No deficiencies were noted at the time of inspection. The inspector does not move appliances, and dryer vent routing beyond visible areas is not fully evaluated as part of a general home inspection.



2. Exhaust Fan

Observations:

- No exhaust fan was installed in the laundry room. This is noted for informational purposes only, as ventilation requirements vary and the presence of a fan is not always mandatory.



3. Plumbing

Observations:

- The washing machine water supply valves had paint overspray on them at the time of inspection. This is noted for informational purposes only and is not considered a defect.





4. Wall Condition

Materials: Drywall walls noted.



5. Ceiling Condition

Materials: There are drywall ceilings noted.

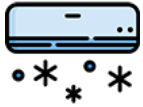


6. Doors

Observations:

- No discrepancies observed at the time of the inspection.





Heat/AC

The heating, ventilation, and air conditioning and cooling system (often referred to as HVAC) is the climate control system for the structure. The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality, ventilation while keeping maintenance costs at a minimum. The HVAC system is usually powered by electricity and natural gas, but can also be powered by other sources such as butane, oil, propane, solar panels, or wood.

The inspector will usually test the heating and air conditioner using the thermostat or other controls. For a more thorough investigation of the system please contact a licensed HVAC service person.

Disclaimer

Inspection of home HVAC systems typically includes visual examination of readily observable components for adequate condition, and system testing for proper operation using normal controls. The HVAC system inspection will not be as comprehensive as that performed by a qualified heating, ventilating, and air-conditioning (HVAC) system contractor. Report comments are limited to identification of common requirements and deficiencies. Observed indications that further evaluation is needed will result in referral to a qualified HVAC contractor.

1. Heater Condition

Materials: Electric forced hot air. • Heat pump noted.



Observations:

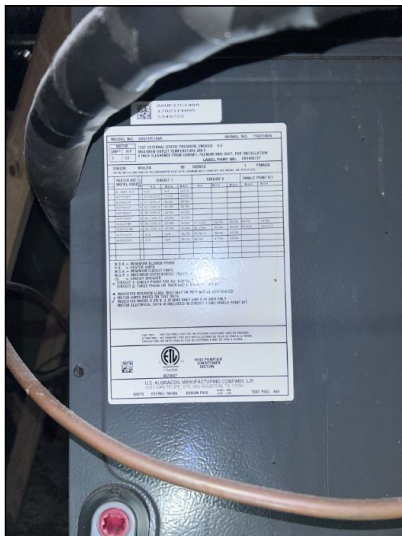
- The heating system responded to normal operating controls and functioned properly at the time of inspection. Warm air was delivered throughout the home, and no operational deficiencies were observed. This reflects conditions only at the time of testing.

2. Enclosure

Observations:



- Data plate information was photographed for reference.



3. AC Compress Condition



Compressor Type: Electric

Location: The compressor is located on the exterior south.

Observations:

- The air conditioning system was not operated due to low outdoor temperatures (approximately 37.9°F at the time of inspection). Running the **A/C** when temperatures are below about 60°F can damage the system. This is an inspection limitation only. Recommend confirming proper cooling operation during seasonally appropriate temperatures.

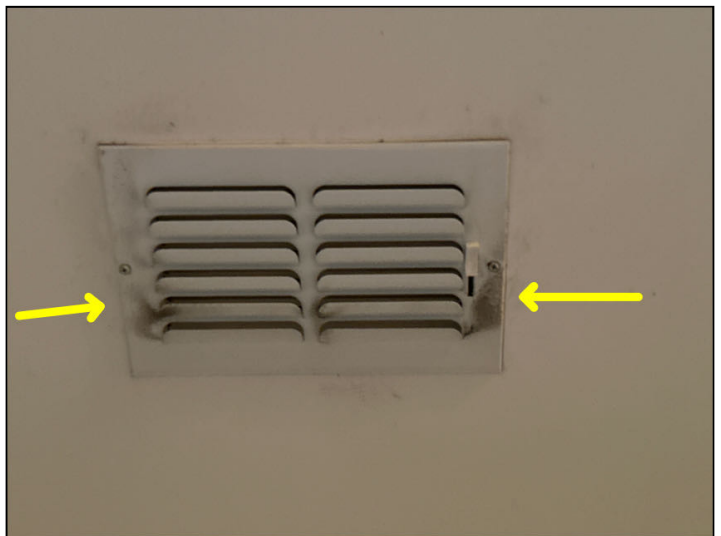


4. Registers



Observations:

- Black discoloration was observed on several HVAC supply registers in the living room. This is often caused by dust accumulation combined with moisture, but microbial growth is also possible. The exact type cannot be determined during a visual home inspection. Recommend cleaning the registers and having the HVAC system, ductwork, and air filtration evaluated by a qualified HVAC technician to improve indoor air quality and prevent recurrence.



5. Thermostats



Observations:

- Digital - programmable type.
- Functional at the time of inspection.
- The home's thermostats are installed upstairs and downstairs. This is noted for reference only. Thermostat placement can influence temperature distribution throughout the home, especially in multi-level homes where heat naturally rises. No operational deficiencies were observed at the time of inspection.



Water Heater

1. Base



Observations:

- Inspection of the water heater was limited due to personal items stored around and in front of the unit. Full access to the water heater and its components—including plumbing connections, drain pan, and safety devices—was restricted. Recommend ensuring the area is cleared if a more complete evaluation is desired.



2. Heater Enclosure



Observations:

- Due to stored personal belongings, the enclosure could not be fully inspected, and the condition of the surrounding surfaces and clearances could not be confirmed. Recommend keeping the enclosure area clear to allow proper access and full evaluation during future inspections.

3. Water Heater Condition

Heater Type: Electric

Location: The water heater is located in the garage.

4. TPRV



Observations:

- Appears to be in satisfactory condition -- no concerns.

5. Number Of Gallons



Observations:

- The water heater was partially obstructed by stored personal belongings, limiting access to the data plate. Because of this, the tank size could not be determined during the inspection. This is noted as an inspection limitation, not a defect.

6. Plumbing



Materials: PEX (cross-linked polyethylene) water supply lines

Observations:

- No deficiencies observed at the visible portions of the supply piping.

7. Overflow Condition

Observations:



- A temperature and pressure relief (T&P) discharge line was present at the water heater. The visible portion of the line showed that it was routed to the exterior and terminated properly outside. No deficiencies were observed in the visible portions of the discharge line.



Garage

1. Walls



Observations:

- Personal items prevent complete inspection.
- Gaps around plumbing and electrical penetrations into drywall recommend sealing gaps.



2. Electrical



Observations:

- Some outlets not accessible due to furniture and or stored personal items.

3. GFCI



Observations:

- **GFCI** may have been present in the garage but there was limited access due to personal belongings.

4. Exterior Door

Observations:



- Appeared functional, at time of inspection.

5. Fire Door

Observations:



- There is no self-closing device on the door from the house leading to the garage. It is strongly recommended that one be installed in order to protect the residence against garage originated fires.

6. Garage Door Condition

Materials: Roll-up door noted.



Observations:

- Garage door would not close on its own using normal button operation.

7. Garage Door Parts

Observations:



- The bottom weather seal (rubber boot) on the overhead garage door is cracked and split along most of its length. This reduces the door's ability to seal properly and may allow drafts, moisture, and pests to enter the garage. Recommend replacement of the bottom seal to restore proper weather-resistance.



8. Garage Opener Status

Observations:



- Belt drive opener noted.

9. Garage Door's Reverse Status

Observations:



- The garage door's automatic reverse safety feature could not be fully tested. The wall-mounted opener required the button to be held down continuously for the door to close, preventing normal testing of the auto-reverse function. This condition may indicate a problem with the opener settings, sensors, or safety controls. Recommend evaluation and correction by a qualified garage door technician to ensure the door's safety features operate properly.



Electrical

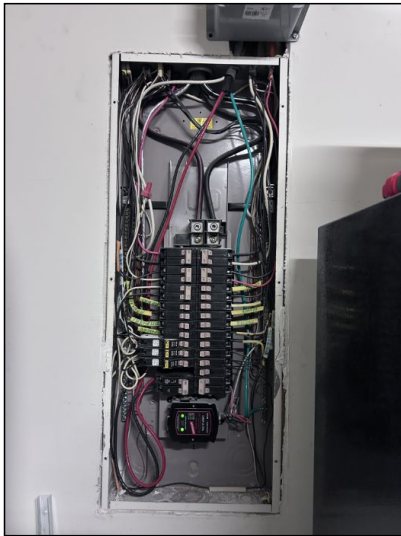
This report describes the amperage and voltage rating of the service, the location of the main disconnect and any sub panel(s), the presence of solid conductor aluminum branch circuit wiring, the presence or absence of smoke detectors and wiring methods. Inspectors are required to inspect the viewable portions of the service drop from the utility to the house, the service entrance conductors, cables and raceways, the service equipment and main disconnects, the service grounding, the interior components of the service panels and sub panels, the conductors, the over-current protection devices (fuses or breakers), ground fault circuit interrupters and a representative number of installed lighting fixtures, switches and receptacles. All issues or concerns listed in this Electrical section should be construed as current and a potential personal safety or fire hazard. Repairs should be a priority, and should be made by a qualified, licensed electrician.

1. Electrical Panel

Location: Sub Panel Location: • Located in the garage.

Observations:

- No major system safety or function concerns noted at time of inspection at sub panel box.
- Could not determine the size of the sub-panel due to missing data plate.
- A sub-panel was present in the garage.
- Panel cover screw(s) missing.



2. Main Amp Breaker

Observations:

- The main service amperage could not be determined because no main electrical panel or main disconnect was located within the dwelling. Without access to the main service equipment, the total amperage rating of the electrical system could not be confirmed. Recommend locating the main service disconnect and verifying the service size with the seller, utility provider, HOA (if applicable), or a qualified electrician to ensure proper identification and access for emergency shutoff.

3. Breakers in off position

Observations:

- 0

4. Breakers



Materials: Copper non-metallic sheathed cable noted.

Observations:

- All of the circuit breakers appeared serviceable.



Roof

1. Roof Condition



Materials: Asphalt shingles noted.

Observations:

- The roof could not be walked during the inspection due to accessibility and/or safety limitations. As a result, a full evaluation of the roof covering and related components was not possible. Recommend further assessment by a qualified roofing contractor to fully evaluate the roof's condition and identify any deficiencies that may not have been visible from the ground or other vantage points.
- Some shingles appear to be slightly curling.



2. Flashing



Observations:

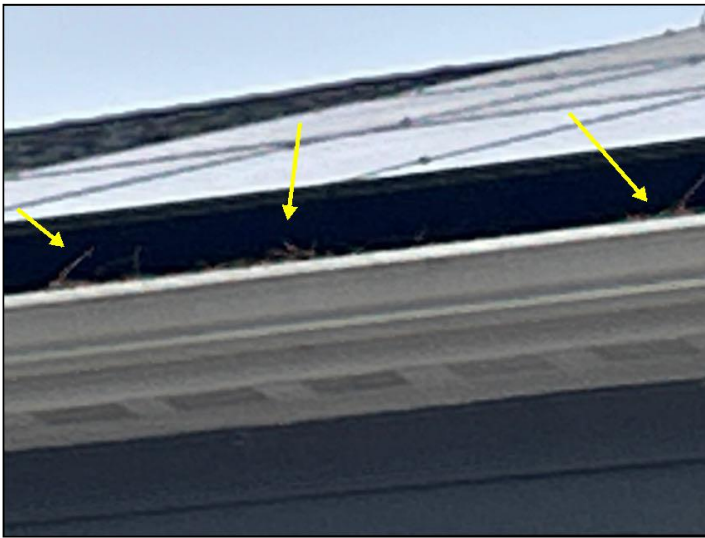
- The roof flashing could not be fully observed or evaluated from the ground due to height and limited visibility. Flashing is an important component that helps prevent water intrusion at roof intersections and penetrations. Because a complete visual assessment was not possible, recommend further evaluation by a qualified roofing contractor to confirm proper installation and condition.

3. Gutter



Observations:

- From ground level, I observed visible debris accumulation in sections of the gutters—particularly at the front and rear of the home. Because the roof was not walked, my view of the gutter interior was limited, and additional debris or blockages may be present. Debris-filled gutters can impede proper drainage and contribute to moisture-related issues at roof edges. Recommend having the gutters cleaned.





Attic

This report describes the method used to inspect any accessible attics; and describes the insulation and vapor retarders used in unfinished spaces when readily accessible and the absence of insulation in unfinished spaces at conditioned surfaces. Inspectors are required to inspect insulation and vapor retarders in unfinished spaces when accessible and passive/mechanical ventilation of attic areas, if present.

1. Access

Observations:

- The attic access ladder is stamped with a manufacture date of April 11, 2006. The ladder operated normally at the time of inspection. This date is provided for reference only.



2. Structure

Observations:



- No structural deficiencies were observed in the accessible areas of the attic at the time of inspection. Framing members appeared serviceable with no visible signs of damage, distress, or improper modification. This is an observation only.

3. Attic Plumbing

Observations:



- No deficiencies noted in plumbing vent piping.

4. Insulation Condition

Materials: Blown in **cellulose** insulation noted.

Depth: Insulation averages about 6-8 inches in depth

Observations:

- A loose board with multiple exposed nails was observed laying on the attic floor. This presents a safety hazard for anyone entering the attic, including the homeowner or service personnel. Recommend removal of the board or securing it in a safe location to prevent injury.





Exterior Areas

Inspection of the home exterior typically includes: exterior wall covering materials, window and door exteriors, adequate surface drainage, driveway and walkways, window wells, exterior electrical components, exterior plumbing components, potential tree problems, and retaining wall conditions that may affect the home structure. Note: The General Home Inspection does not include inspection of landscape irrigation systems, fencing or swimming pools/spas unless pre-arranged as ancillary inspections.

1. Doors

Observations:



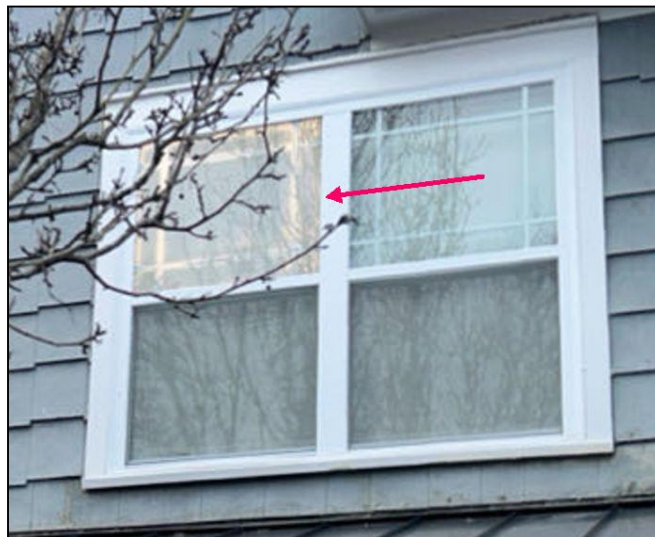
- Appeared in functional and in satisfactory condition, at time of inspection.

2. Window Condition

Observations:



- The upper window in the second-floor bedroom exhibited visible discoloration or hazing between the glass panes. This condition is consistent with a possible failed thermal seal, which allows moisture to enter the insulated glass unit. When window seals are compromised, the window may become cloudy over time and lose some insulating efficiency. Recommend evaluation and repair or replacement by a qualified window contractor.



3. Siding Condition



Materials: Composition wood or composition cement siding ("Hardi-Board" etc.) • Brick veneer noted.

Observations:

- From ground level and at a limited vantage point, the exterior siding and roof-to-wall flashing area beneath the upper window show signs of discoloration, deterioration, and possible moisture staining. The flashing configuration could not be fully evaluated from this distance, but the conditions observed may indicate improper or aging flashing and potential water intrusion. Recommend a closer evaluation by a qualified roofing or siding contractor and repairs as needed.



4. Eaves & Facia

Observations:



- The eaves and fascia appeared to be in good condition with no visible deficiencies observed from ground level. The inspection was performed using a monocular and no elevated equipment, so the assessment is limited to what could be seen from that vantage point.

5. Exterior Paint

Observations:



- Several nail holes were observed in the composition wood siding. These openings can allow moisture to enter the siding, which may lead to deterioration or swelling over time. Additional unobserved holes may also be present. Recommend sealing all penetrations and repainting the affected areas to maintain the siding's protective surface.
- Paint on the exterior siding appears weathered and faded in areas. While cosmetic, fading can indicate the need for future repainting to maintain proper protection against moisture and UV exposure. Recommend planning for routine repainting as part of normal home maintenance.





Foundation

This report describes the foundation, floor, wall, ceiling and roof structures and the method used to inspect any accessible under floor crawlspace areas. Inspectors inspect and probe the structural components of the home, including the foundation and framing, where deterioration is suspected or where clear indications of possible deterioration exist. Probing is not done when doing so will damage finished surfaces or when no deterioration is visible or presumed to exist. Inspectors are not required to offer an opinion as to the structural adequacy of any structural systems or components or provide architectural services or an engineering or structural analysis of any kind. Despite all efforts, it is impossible for a home inspection to provide any guaranty that the foundation, and the overall structure and structural elements of the building is sound.

1. Slab Foundation

Observations:



- The home appears to be constructed on a slab-on-grade foundation. The only visible portion of the foundation was within the garage, which included a stem wall configuration. The remainder of the slab was concealed by interior finishes and could not be visually inspected, which is typical for this type of construction. No deficiencies were observed in the visible areas.

2. Foundation Perimeter

Observations:



- No deficiencies were observed at the visible portions of the structural components of the home.



Grounds

Inspectors shall inspect adjacent or entryway walkways, patios, and driveways; vegetation, grading, surface drainage, and retaining walls that are likely to adversely affect the building.

1. Driveway and Walkway Condition

Materials: Concrete driveway noted.

Observations:

- Cracking was noted in the concrete driveway. These appear to be typical settlement or shrinkage cracks common in exterior concrete surfaces. Recommend sealing the cracks to help prevent further deterioration and moisture infiltration. No significant displacement was observed at the time of inspection.



2. Grading

Observations:

- No major system safety or function concerns noted at time of inspection.



3. Vegetation Observations

Observations:

- Vegetation is in direct contact with the exterior columns and structure. Plants touching the home can trap moisture, promote wood deterioration, and provide pathways for pests. Recommend trimming vegetation away from the structure to maintain proper clearance and reduce the risk of damage.



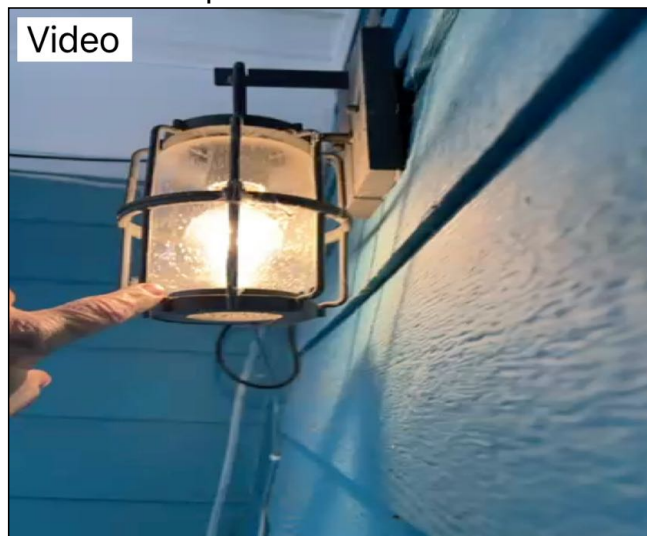


4. Grounds Electrical



Observations:

- No major system safety or function concerns noted at time of inspection.
- An exterior light fixture was loose and rocked when touched. Loose fixtures can stress the wiring connections and may eventually detach from the wall. Recommend securing the fixture properly to ensure safe operation.

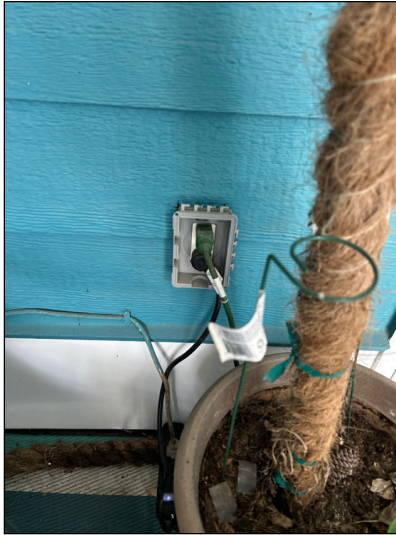


5. GFCI



Observations:

- The exterior electrical receptacle is missing its required weatherproof "in-use" cover. Without a proper cover, the outlet and connected devices are exposed to moisture, creating a potential shock hazard and risk of equipment damage. Recommend installing a code-approved weatherproof cover suitable for use while cords are plugged in.



6. Plumbing



Observations:

- The water meter vault in front of the home was partially covered with leaves and soil. Access to the meter should remain unobstructed for utility personnel and emergency shutoff. Recommend clearing debris from around the vault as part of routine yard maintenance.



7. Water Pressure



Observations:

- Exterior water pressure tested at approximately 70 PSI. While this is below the maximum recommended limit of 80 PSI, it is on the higher side and may contribute to plumbing wear over time. Recommend monitoring the pressure and ensuring the home has a properly functioning pressure-reducing valve (PRV) if needed.



8. Pressure Regulator

Observations:

- None.

9. Exterior Faucet Condition

Location: Front of structure. • Outside of garage.



Observations:

- Appears Functional.

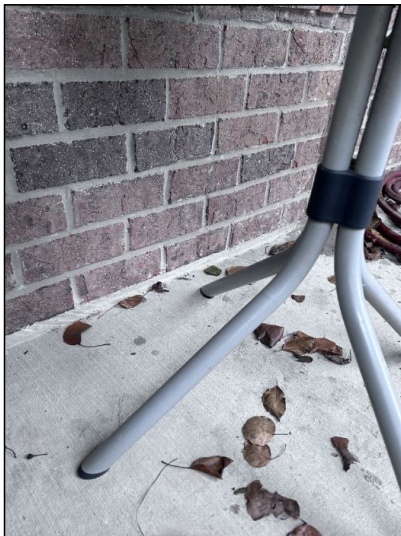
10. Patio and Porch Condition



Materials: Metal standing seam roofing noted.

Observations:

- The brick veneer at the front porch did not appear to have visible weep holes. In many exterior veneer installations, weep holes are installed at the base of the wall to allow drainage and ventilation of the cavity behind the brick. Because the construction details behind the veneer are not visible during a home inspection, it is unclear whether a drainage cavity is present in this location. Recommend further evaluation by a qualified masonry contractor to confirm proper installation and moisture management for this section of the wall.

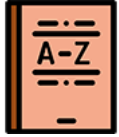


11. Fence Condition

Materials: Wood

Observations:

- Fencing was present on the property; however, evaluation of fences is excluded from the scope of a home inspection per the InterNACHI Standards of Practice. No assessment of fencing condition or components was performed.



Glossary

Term	Definition
A/C	Abbreviation for air conditioner and air conditioning
Cellulose	Cellulose insulation: Ground-up newspaper that is treated with fire-retardant.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.